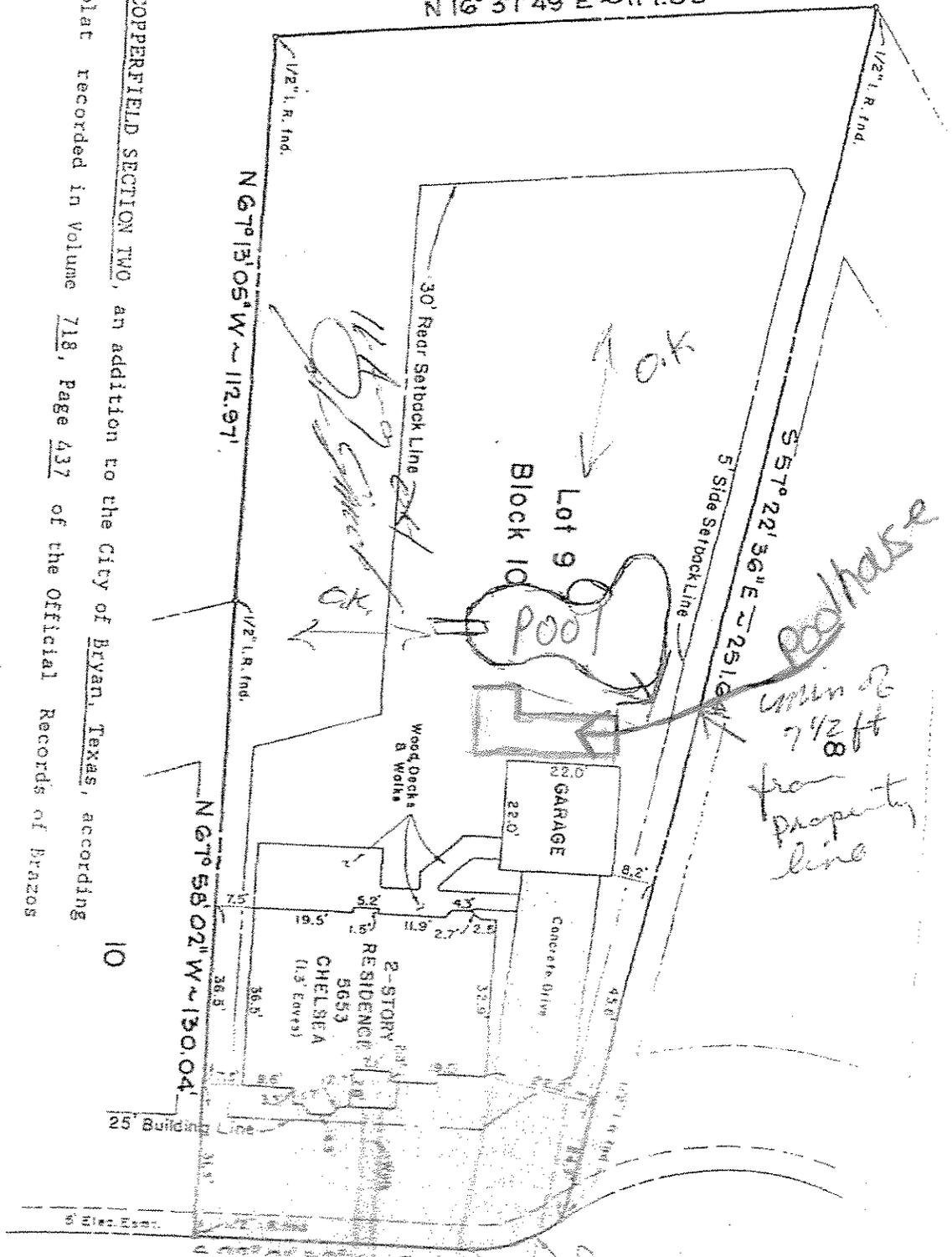


N 16° 37' 49" E ~ 117.03'



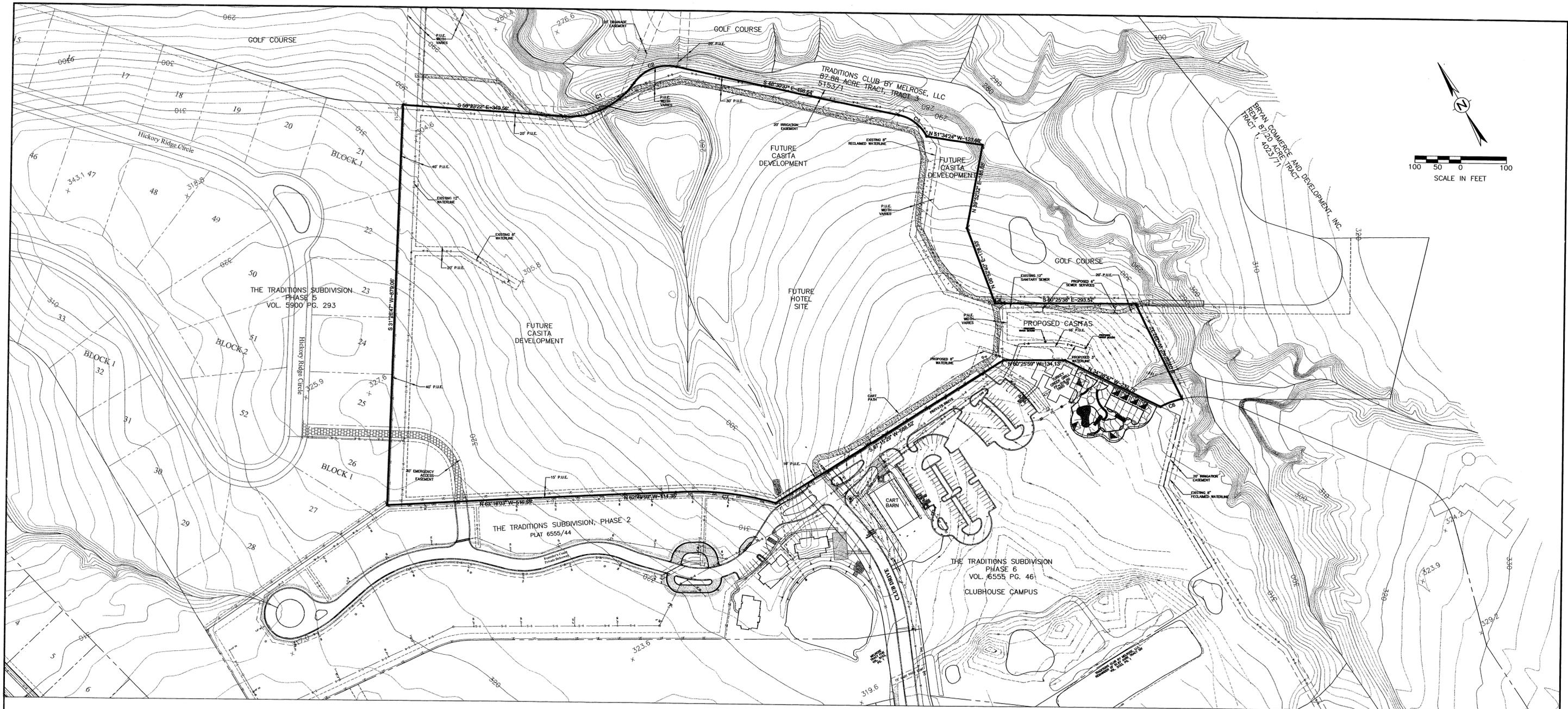
of COPPERFIELD SECTION TWO, an addition to the City of Bryan, Texas, according to plat recorded in Volume 718, Page 437 of the Official Records of Brazos

10

Clure, Registered Professional Land Surveyor, No. 2859, State of Texas, to the best of my knowledge, information and belief, and in my opinion, that the above survey is true and correct and agrees with my supervision on June 22, 1990. No visible improvements on this property nor do any visible improvements on this property extend approximately 500' northeast of Farm Road No. 198. The current 100-Year Flood Hazard boundary or within the boundaries of this 100-Year Flood Hazard Area Flood Insurance Rate Map, Community Panel No. 480082 0013B, 1990.

W. J. Clure
 6/27/90

CU06-07



| CURVE | RADIUS | DELTA | ARC | TANGENT | BEARING | CHORD |
|-------|--------|-----------|--------|---------|---------------|--------|
| C1 | 175.00 | 59°01'46" | 180.29 | 99.07 | S 85°59'18" E | 172.43 |
| C2 | 90.00 | 66°38'07" | 104.67 | 59.16 | S 81°51'48" E | 98.87 |
| C3 | 90.00 | 50°37'20" | 79.52 | 42.56 | N 23°10'30" W | 76.96 |
| C4 | 175.00 | 4°22'37" | 13.37 | 6.69 | S 58°14'41" E | 13.37 |
| C6 | 176.00 | 16°14'17" | 49.88 | 25.11 | N 81°23'31" W | 49.71 |
| C7 | 600.93 | 20°56'58" | 219.72 | 111.10 | N 54°24'11" W | 218.50 |

CURVE LABEL "C5" HAS BEEN OMITTED.

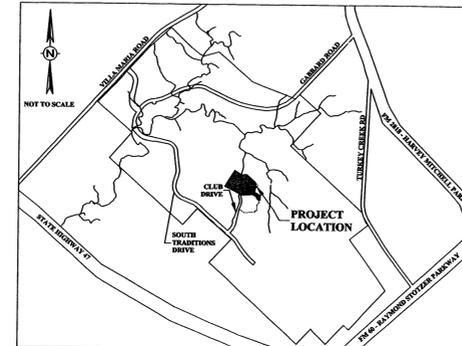
NOTES:

1. BEARING SYSTEM SHOWN HEREON IS BASED ON GRID NORTH AS ESTABLISHED FROM CITY OF BRYAN G.P.S. MONUMENTS.
2. THIS PROPERTY IS CURRENTLY ZONED PLANNED DEVELOPMENT-MIXED USE (PD-M).
3. THE TOPOGRAPHY SHOWN IS FROM AERIAL TOPOGRAPHY PREPARED FOR THE CITY OF BRYAN AND FIELD SURVEY DATA.
4. NO PORTION OF THIS TRACT LIES WITHIN A DESIGNATED 100 YEAR FLOOD PLAIN ACCORDING TO THE F.I.R.M. MAPS, COMMUNITY PANEL NO. 48041C0143-C, EFFECTIVE DATE: 07-02-1992. THE PROPOSED 100-YEAR FLOODPLAIN LIMITS PER THE 2005 DRAINAGE STUDY IS SHOWN ON THIS PLAN.
5. BUILDING SETBACK LINES TO BE IN ACCORDANCE WITH THE CITY OF BRYAN SITE DEVELOPMENT REVIEW ORDINANCE, NO. 1412 FOR SF-5 ZONING DISTRICT. HOWEVER, ADDITIONAL BUILDING SETBACK LINES MAY BE REQUIRED BY DEED RESTRICTIONS.
6. CURVE LENGTHS SHOWN ALONG THE BOUNDARY OR RIGHT-OF-WAY LINES ARE ARC LENGTHS.
7. OWNERSHIP OF THIS TRACT IS BY DEED, VOL. 6587, PG. 223 AND VOL. 5153, PG. 1, OF THE OFFICIAL DEED RECORDS OF BRAZOS COUNTY, TEXAS. THIS PROPERTY WAS PREVIOUSLY NOTED AS PARCELS 1 & 2 ON THE MASTER PLAN.

LEGEND

| | |
|-----------|------------------------------|
| — 290 — | EXISTING CONTOUR (MAJOR) |
| — 300 — | EXISTING CONTOUR (MINOR) |
| — — — — — | PLAT BOUNDARY |
| — — — — — | EDGE OF PAVEMENT LINE |
| — — — — — | PROPERTY LINE |
| — — — — — | OLD PROPERTY LINE |
| — — — — — | PROPERTY CORNER |
| — — — — — | PUBLIC UTILITY EASEMENT LINE |
| — — — — — | SANITARY SEWER LINE |
| — — — — — | WATERLINE |
| — — — — — | STORM SEWER LINE |
| → | FLOW DIRECTION |
| ⊕ | FIRE HYDRANT |
| ⊕ | WATER GATE VALVE |
| ⊕ | SANITARY SEWER MANHOLE |
| ⊕ | WATER SERVICE |
| ⊕ | SANITARY SEWER SERVICE |
| ⊕ | PUBLIC UTILITY EASEMENT |
| — — — — — | CART PATH |

VICINITY MAP



**PRELIMINARY PLAN
THE TRADITIONS SUBDIVISION
PHASE 16**

25.436 ACRES

BLOCK 1, LOT 1

**J.H. JONES SURVEY, A-26
BRYAN, BRAZOS COUNTY, TEXAS**

SCALE: 1"=100'

APRIL, 2006

OWNER/DEVELOPER:
Traditions Club by Melrose, LLC.
2100 Traditions Blvd.
Bryan, Texas 77807
(979) 821-2582

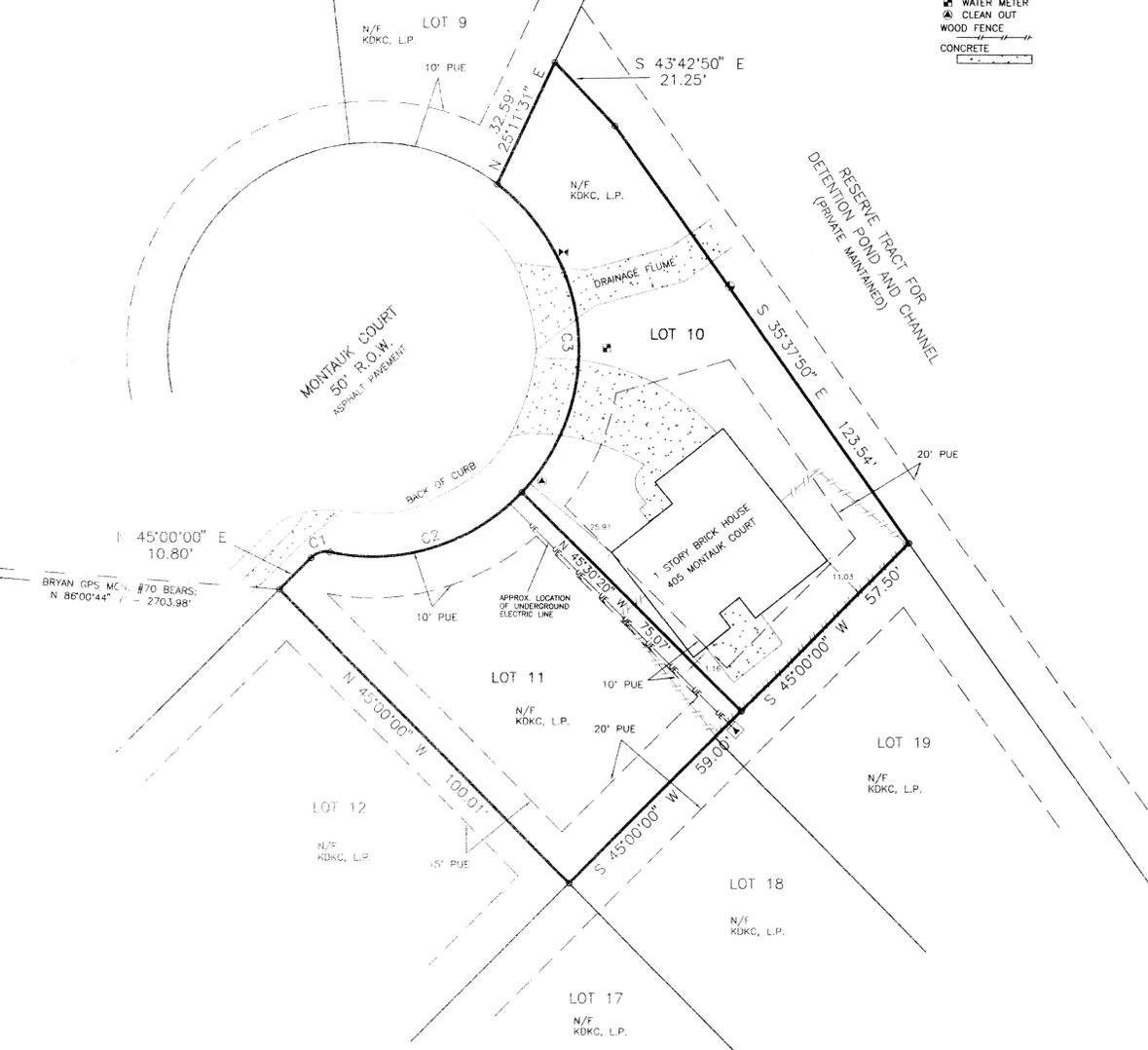
ENGINEER:
★ **CIVIL DEVELOPMENT, Ltd.** ★
CIVIL ENGINEERING & DESIGN-BUILD SERVICES
Joe Schultz, P.E.
2900 Longmire Drive, Suite K
College Station, Texas 77845

SURVEYOR:
Brad Kerr, RPLS No. 4502
Kerr Surveying, LLC
P.O. Box 269
College Station, Texas 77841
(979) 268-3195

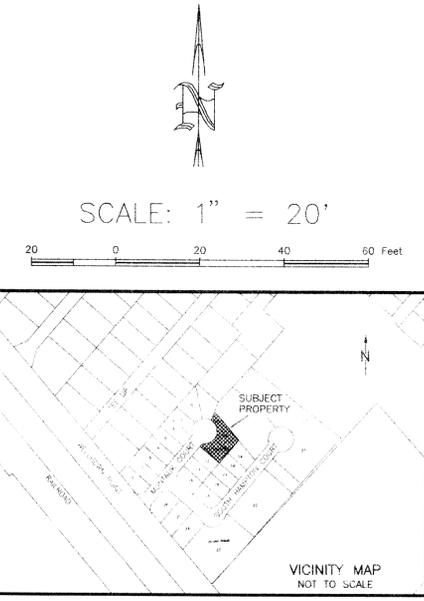
P.O. Box 11929, College Station, Texas 77842
(979) 764-7743 Fax: (979) 764-7759
Prepared for Texcon General Contractors

PP06-08

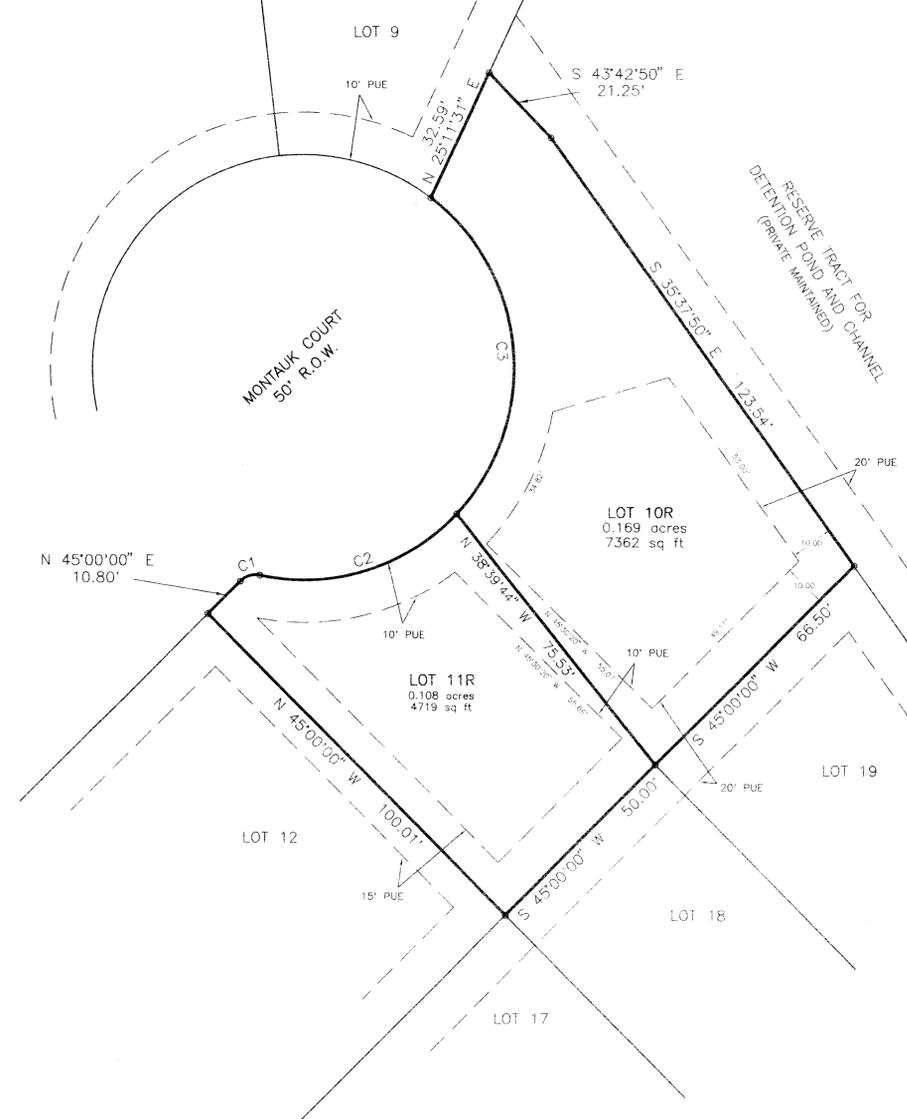
ORIGINAL PLAT



- LEGEND:
- SANITARY SEWER MANHOLE
 - TRANSFORMER
 - ⊕ WATER VALVE
 - ⊕ WATER METER
 - ⊕ CLEAN OUT
 - ▭ WOOD FENCE
 - ▭ CONCRETE



AMENDING PLAT



GENERAL NOTES

1. BEARING SYSTEM SHOWN HEREON IS BASED ON THE PLAT CALL BEARINGS OF HAMPTON HILL SUBDIVISION, ACCORDING TO THE PLAT RECORDED IN VOL. 6761, PG. 253, OF THE OFFICIAL PUBLIC RECORDS OF BRAZOS COUNTY, TEXAS.
2. SUBJECT PROPERTY DOES NOT LIE WITHIN A DESIGNATED FLOOD PLAIN AREA ACCORDING TO THE F.I.R.M. MAPS, COMMUNITY PANEL NO. 48041C0141 C, DATED JULY 2, 1992.
3. 5/8 INCH IRON RODS AT ALL CORNERS UNLESS OTHERWISE NOTED.
4. PUE - PUBLIC UTILITY EASEMENT
5. PROPERTY IS CURRENTLY ZONED "MF", ALTHOUGH LOTS 10 AND 11 SHOWN HEREON ARE DESIGNATED FOR SINGLE FAMILY RESIDENTIAL (5000 sq ft) CONSTRUCTION PER PLAT 6761/253.
6. BUILDING SETBACK LINES TO BE IN ACCORDANCE WITH CITY OF BRYAN S.D.R.O.

NOTE: THE PURPOSE OF THIS PLAT IS TO ADJUST THE LOT LINE BETWEEN LOT 10 AND 11 TO ALLEVIATE THE ENCROACHMENT OF THE EXISTING HOUSE ON LOT 11 INTO THE PUBLIC UTILITY EASEMENT AND SETBACK LINE. THE NEW LOCATION OF THE PUBLIC UTILITY EASEMENT DOES NOT CREATE ANY ENCROACHMENT BY EXISTING STRUCTURES AND STILL ENCOMPASSES THE EXISTING UNDERGROUND ELECTRIC LINE.

CERTIFICATE OF OWNERSHIP AND DEDICATION

STATE OF TEXAS,
COUNTY OF BRAZOS

I (We) _____, owner(s) and developer(s) of the land shown on this plat, and designated herein as Lots 10R and 11R, Hampton Hill Subdivision to the City of Bryan, Texas, and whose name(s) is/are subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, easements, and public places thereon shown for the purpose and consideration therein expressed.

Owner(s) _____

APPROVAL OF PLANNING AND ZONING COMMISSION

I, _____, Chairman of the Planning and Zoning Commission of the City of Bryan, hereby certify that the attached plat was duly approved by the Commission on the _____ day of _____, 2006.

Chairman _____

STATE OF TEXAS,
COUNTY OF BRAZOS

Before me, the undersigned authority, on this day personally appeared _____, known to me to be the person(s) whose name(s) is/are subscribed to the foregoing instrument, and acknowledged to me that he/she/they executed the same for the purposes and consideration therein stated.

Given under my hand and seal on this _____ day of _____, 2006.

Notary Public, Brazos County, Texas _____

CERTIFICATION OF PLANNING ADMINISTRATOR

I, the undersigned, Planning Administrator of the City of Bryan, hereby certify that the plat conforms to the City master plan, major street plan, land use plan and the standards and specifications set forth in this Ordinance.

Planning Administrator, City of Bryan _____

| CURVE | RADIUS | DELTA | ARC | TANGENT | BEARING | CHORD |
|-------|--------|-----------|-------|---------|---------------|-------|
| C1 | 5.00 | 57°42'36" | 5.04 | 2.76 | N 73°13'51" E | 4.83 |
| C2 | 50.00 | 58°29'21" | 51.04 | 28.00 | N 72°37'43" E | 48.85 |
| C3 | 50.00 | 96°29'02" | 84.20 | 56.00 | N 04°51'29" W | 74.60 |

CERTIFICATE OF SURVEYOR

I, Brad Kerr, Registered Public Surveyor No. 4502, in the State of Texas, hereby certify that this plat is true and correct and was prepared from an actual survey of the property and that property markers and monuments were placed under my supervision on the ground.

Brad Kerr, R.P.L.S. No. 4502 _____

APPROVAL OF THE CITY ENGINEER

I, the undersigned, City Engineer of the City of Bryan, hereby certify that this plat is in compliance with the appropriate codes and ordinances of the City of Bryan.

City Engineer, City of Bryan _____

CERTIFICATE OF THE COUNTY CLERK

STATE OF TEXAS
COUNTY OF BRAZOS

I, Karen McQueen, County Clerk, in and for said county, do hereby certify that this plat together with its certificates of authentication was filed for record in my office on the _____ day of _____, 2006, in the Official Public Records of Brazos County, Texas, in Volume _____, Page _____.

County Clerk
Brazos County, Texas _____

AMENDING PLAT
OF
LOTS 10 AND 11
HAMPTON HILL SUBDIVISION
VOLUME 6761, PAGE 253
BRYAN, BRAZOS COUNTY, TEXAS

SCALE: 1 INCH = 20 FEET
SURVEY DATE: APRIL, 2006
PLAT DATE: 04-25-06

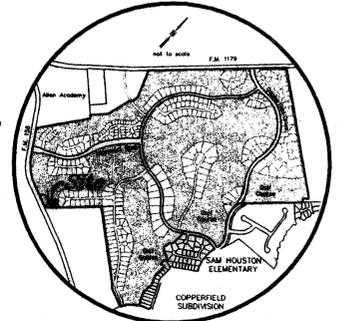
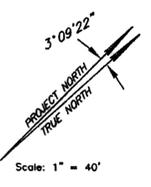
JOB NUMBER: 06-141
CAD NAME: 06-141
CR5 FILE: HAMPHILL (cont); 06-141 (job)

PREPARED BY: KERR SURVEYING, LLC
505 CHURCH STREET, P.O. BOX 269
COLLEGE STATION, TEXAS 77841
PHONE (979) 268-3195

PREPARED FOR: KDKC L.P.
201 WELLBORN ROAD
COLLEGE STATION, TEXAS 77845
PHONE (979) 696-4464

AP 06-06

Survey Benchmarks:
 BM 158 set in concrete for the City of Bryan
 CIP Monument No. 58 located 1.2 miles northeast
 of the FM 1579 and FM 158 Intersection.
 Elevation: 333.83 (NGVD 1929)



Location Map

- GENERAL NOTES:**
- CURRENT ZONING: PD-M (PLANNED DEVELOPMENT - MIXED)
 - EXISTING LAND USE: PASTURE LAND
 - According to Federal Emergency Management Agency Flood Insurance Rate Maps, Map Number 46041C0134 C, effective July 2, 1992, this property is located in a Zone "X" area which is determined to be outside the 500-year flood plain. On-site storm water detention/retention is planned with this development and will be maintained by the Owner.
 - BASIS OF BEARINGS: Bearings are based on the system found in the various recorded plots of "Copperfield" Subdivision.
 - Gross Square Footage: 1 Bldgs = 14,191 SF
 - Parking Analysis: Warehouse w/Enclosed Storage
 1/600 SF of Gross Floor Area
 14191/600 = 24 Spaces Required
 27 Provided
 - Landscape Statement: Landscape Calculations and Plan to be submitted by others.
 - See Sheet 1 for Grading & Drainage Plan

WATER AND SANITARY SEWER GENERAL NOTES:

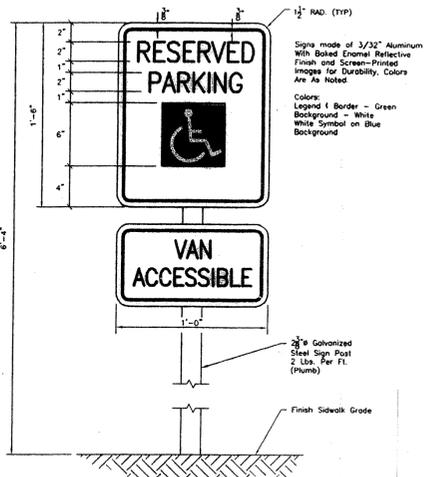
- Water Demands: 0 gpm (min.)
 13 gpm (avg.)
 38 gpm (max.)
- Sewer Demands: 25 F.U. = 485 gpd

SIGN INSTALLATION NOTES:

- All signs shall be posted on 8"-6", 2-3/8" outside diameter Galvanized Steel Pipe Signposts that weigh two (2) pounds per linear foot. These signposts shall be placed a minimum of 2.5 to 3.0 feet into the ground in a dug or drilled one-foot diameter hole. The signpost shall be placed vertically plumb in the center of the hole and secured with a minimum of two (2) sacks of sackcrete. The concrete mix shall be hand tamped as necessary.
- The signs shall be installed so that the bottom of each sign shall be at least four (4) feet above the ground at the base of the signpost or above an adjacent travelway. All traffic signposts shall be installed 24 inches from the travelway, Handicapped Parking Signs shall be installed 12" from the travelway or sidewalk.
- The hardware used to attach the signs to the signposts shall be the same as that currently used by the City of Bryan.

STRIPING NOTES:

- Contractor shall be responsible for the "layout" of the striping plan in the field and stripes as shown on this sheet. All markings shall be white.
- All paint, glass beads and application rates shall conform to TxDOT Item 666, Reflectized Pavement Markings, Type II Marking Materials.
- All Parking Space Limit Lines shall be solid white lines 6" wide.
- All marking/striping shall conform to current specifications of the Texas Manual on Uniform Traffic Control Devices and the TEXAS ACCESSIBILITY STANDARDS (TAS) of the Architectural Barriers Act (Article 9102, Texas Civil Statutes) from the Texas Department of Licensing and Regulation.



HANDICAPPED PARKING SIGN
 (R7-8 PER M.U.T.C.D.)

Legend

- - - - - Easement Line
- - - - - Proposed Sewerline
- - - - - Site Boundary Line
- - - - - Prop. Waterline & Fire Hydrant
- - - - - Existing Contours
- - - - - Existing Electric Line
- - - - - Existing 18" Water Line
- - - - - Existing Telephone Cables
- - - - - Existing Wood Fence
- - - - - Direction of Traffic Flow
- - - - - Direction of Drainage Flow
- o - GTE Manhole
- o - Guy Anchor
- o - Power Pole
- o - Fire Hydrant
- o - Telephone Pedestal
- o - Water Valve

Section 1
 Prop. Golf Course

- AREA "A" 15'x70'x16' OPEN TOP MATERIAL BIN (SOIL)
- BUILDING "B" 30'x70'x12'-7" EQUIPMENT SHAED (COVERED PARKING)
- GREENHOUSE "C" 30'x95'x12' VINYL "TENT" GREENHOUSE
- (Lathelhouse "C") w/ 20'x45'x12' SHADE CLOTH OPEN STRUCTURE

EXISTING BUILDING/PAVING
 HASHED THUS

Section 8
 Residential
 Zoning SF-7
 Single Family Residential

| POINT | X | Y |
|-------|---------|----------|
| 1 | 4086.38 | 15462.99 |
| 2 | 4149.89 | 15399.04 |
| 3 | 4032.80 | 15282.44 |
| 4 | 3736.14 | 15314.22 |
| 5 | 3603.72 | 15337.79 |
| 6 | 3965.80 | 15311.71 |
| 7 | 3770.76 | 15432.29 |
| 8 | 3722.58 | 15488.42 |

Coca-Cola Enterprises
 (CSL of Texas, Inc.)
 55.936 Ac. "Residue" Tr.
 2051/136

SITE PLAN

MIRAMONT MAINTENANCE BUILDING

527.72 ACRE DEVELOPMENT
 277.993

J.W. SCOTT LEAGUE, A-49
 J. AUSTIN LEAGUE, A-2
 BRYAN, BRAZOS COUNTY, TEXAS

APRIL 2006
 SCALE: 1" = 40'

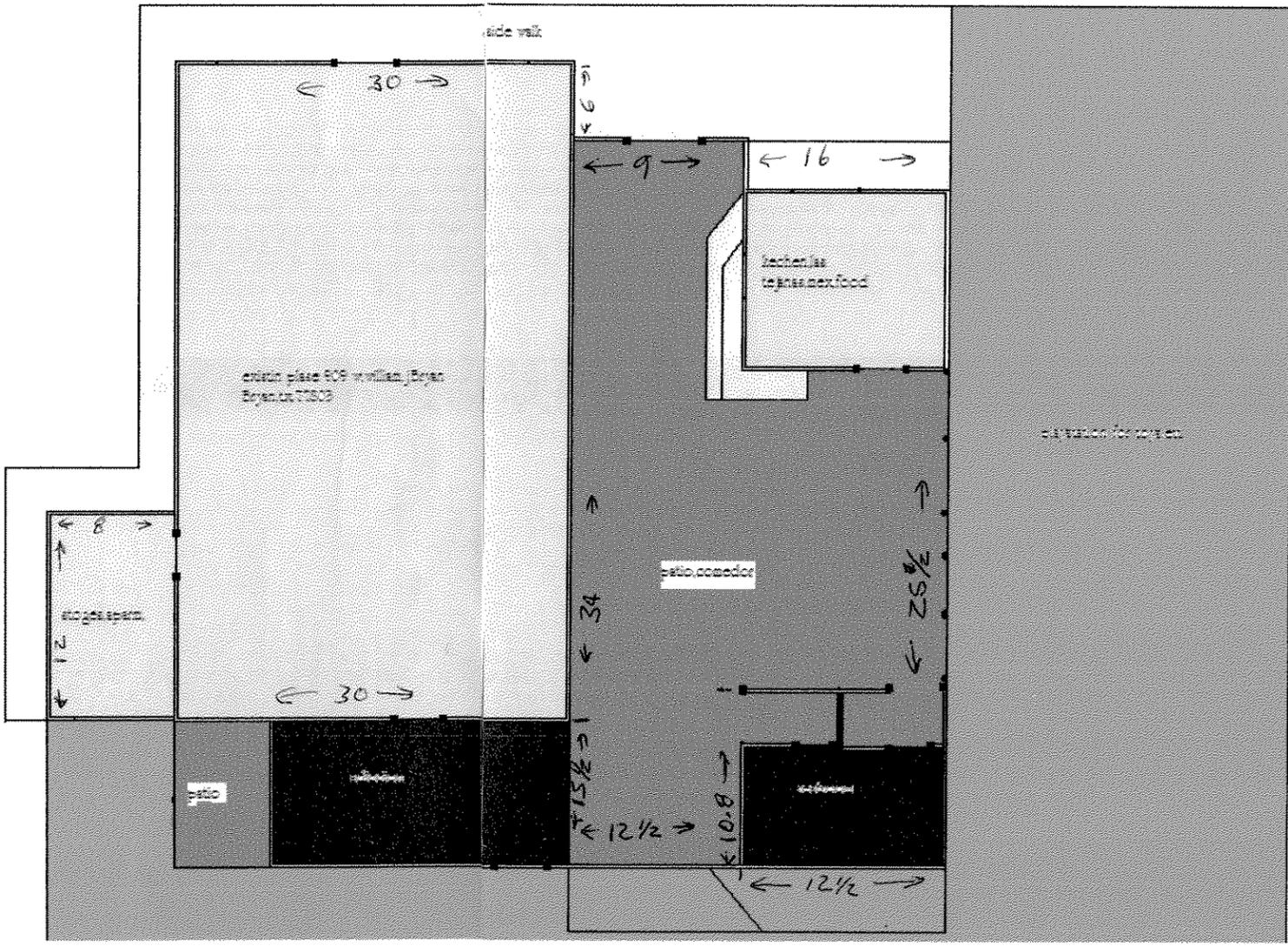


Owner:
 ADAM DEVELOPMENT PROPERTIES, L.P.
 1111 BRARCREST DRIVE
 BRYAN, TEXAS 77801-1111

1640 BRARCREST DRIVE, SUITE 125 • BRYAN, TEXAS 77802
 P.O. BOX 3787 • BRYAN, TEXAS 77805-3787
 979-268-5520 • FAX 979-268-6022

SP06-18

-  existant
-  addition
-  jardin, play area or
-  patio



Ref: 17

APR 24 2006

Development & Management Services

SP06-17

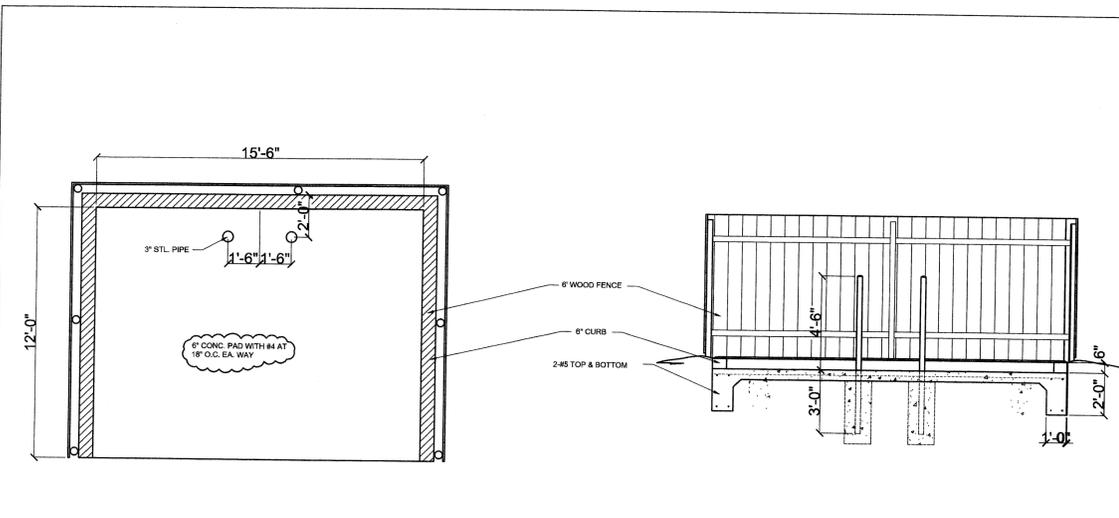


Received

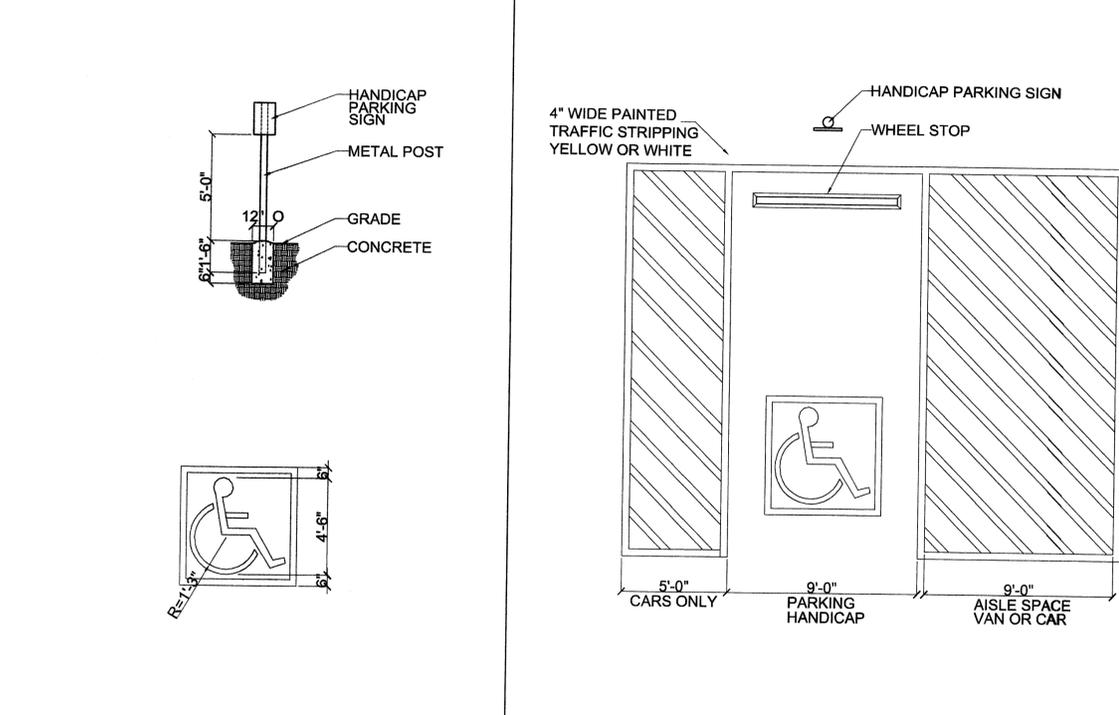
APR 24 2006

Development & Engineering
Services

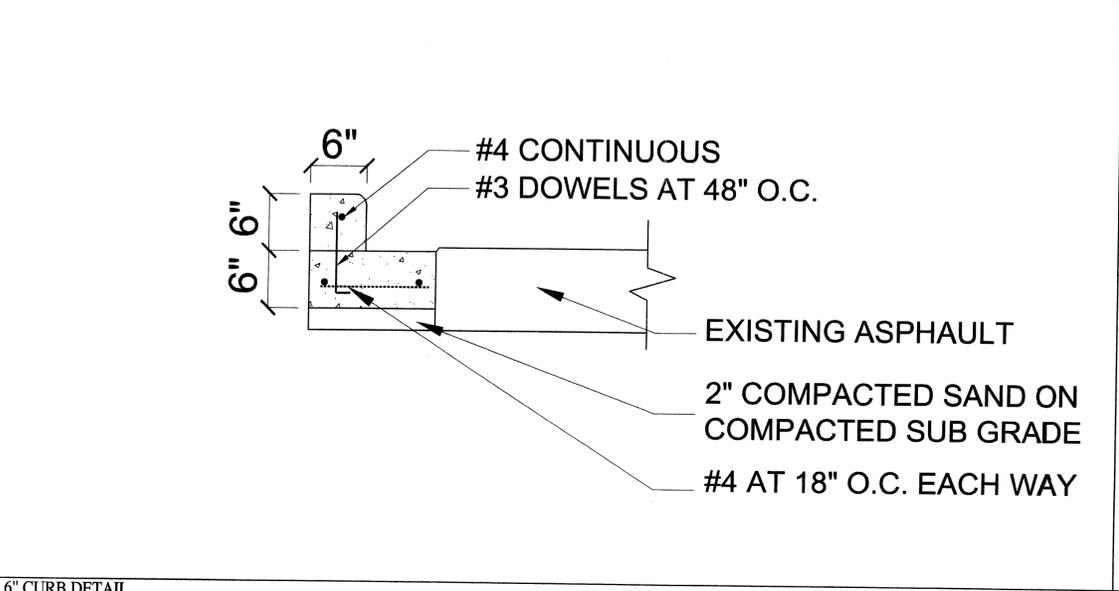
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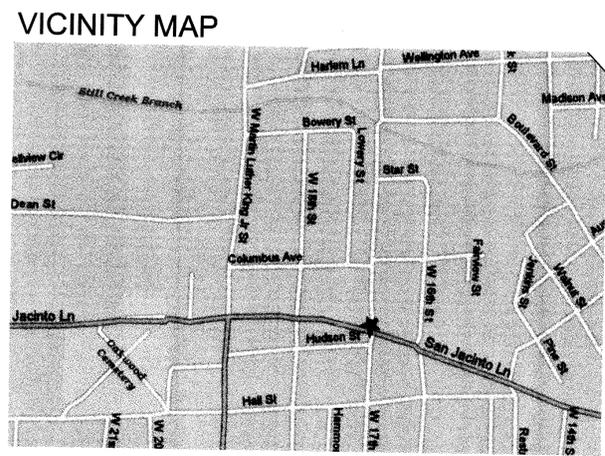
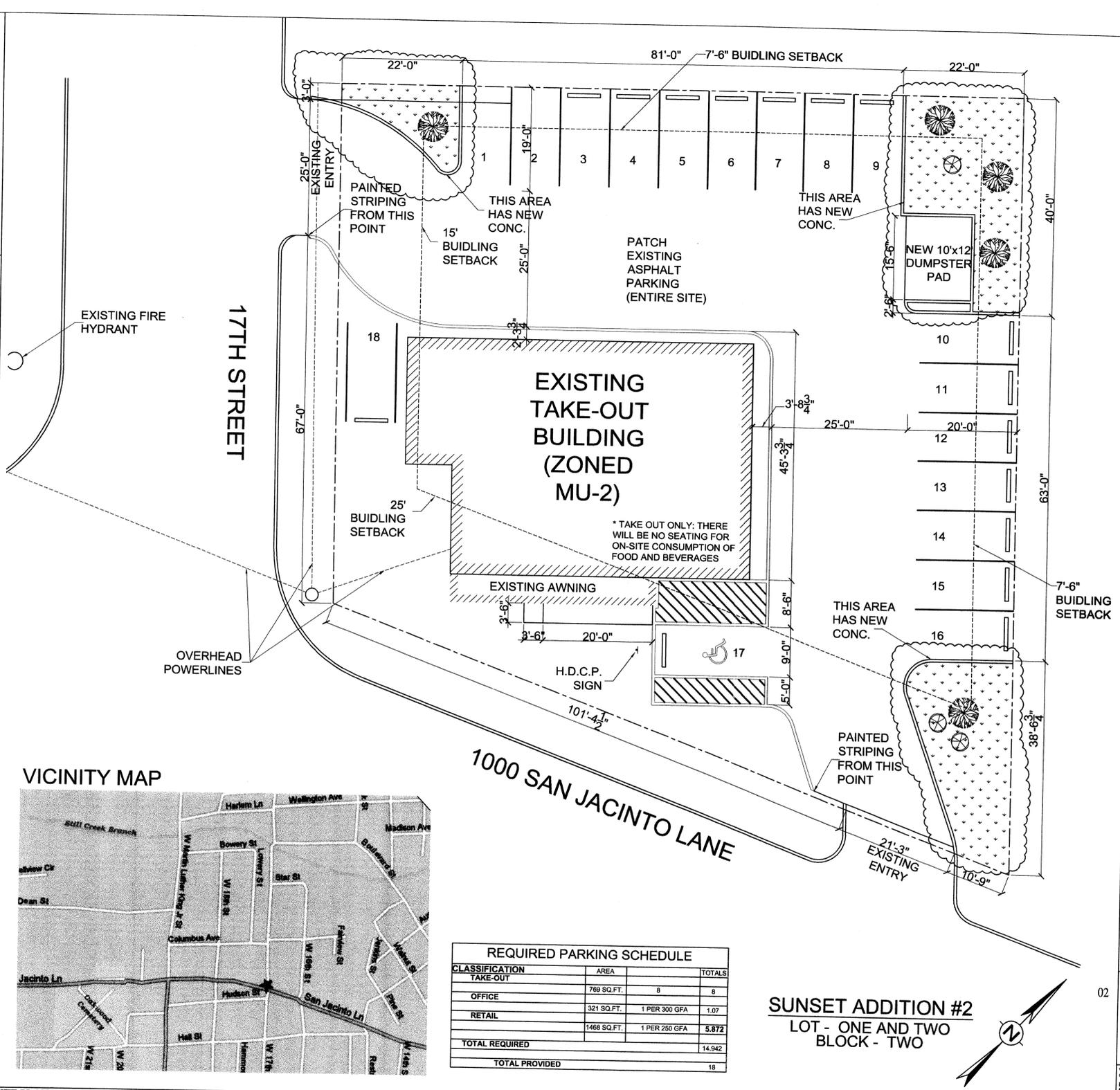
DUMPSTER ENCLOSER SCALE: 1/4" - 1'-0" | 06



H.D.C.P. PARKING SPACE SCALE: 1/4" - 1'-0" | 05 H.D.C.P. PARKING SPACE SCALE: 1/4" - 1'-0" | 04



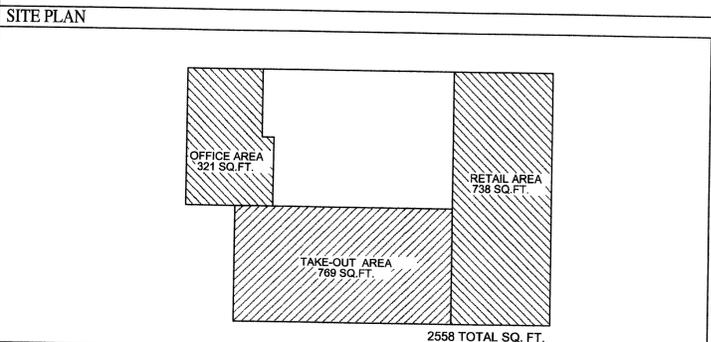
6" CURB DETAIL SCALE: 1" - 1'-0" | 03



REQUIRED PARKING SCHEDULE

| CLASSIFICATION | AREA | TOTALS |
|-----------------------|-------------|---------------|
| TAKE-OUT | 769 SQ.FT. | 8 |
| OFFICE | 321 SQ.FT. | 1.07 |
| RETAIL | 1468 SQ.FT. | 5.872 |
| TOTAL REQUIRED | | 14.942 |
| TOTAL PROVIDED | | 18 |

SUNSET ADDITION #2
LOT - ONE AND TWO
BLOCK - TWO



BUILDING SQ. FT. BREAKDOWN SCALE: N.T.S. | 07

LANDSCAPE ANALYSIS

DEVELOPED AREA: 14,786 SQ. FT.
REQUIRED: 8% = 1,182.88

TREES:
1,183 POINTS REQUIRED
CANOPY TREES: 4 x 200 = 800
NON-CANOPY TREES: 3 x 150 = 450
TOTAL POINTS FROM TREES: 1250

GRASS:
4,532 SQ. FT. = 453
TOTAL POINTS: 1,703

| SYMBOL | COMMON NAME (SCIENTIFIC NAME) | DESCRIPTION | QTY. | VALUE | POINTS |
|----------------|---------------------------------------|-----------------------------|------|-------|-------------|
| (Tree symbol) | LIVE OAK (QUERCUS VIRGINICA) | CANOPY TREES > 1.5 CAL. | 4 | 200 | 800 |
| (Tree symbol) | MOUNTAIN LAUREL (SOPHORA SECUNDFLORA) | NON-CANOPY TREES > 1.5 CAL. | 3 | 150 | 450 |
| (Grass symbol) | SOD GRASS | | | 453 | |
| | TOTAL POINTS | | | | 1703 |

LANDSCAPING NOTES SCALE: N.T.S. | 01

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(979)-846-3366
4500 Carter Creek Dr. #203
Bryan, TX 77802
www.raidesigns.com

RAI
DRAFT
DESIGN
CONSULT

JOB#05-158

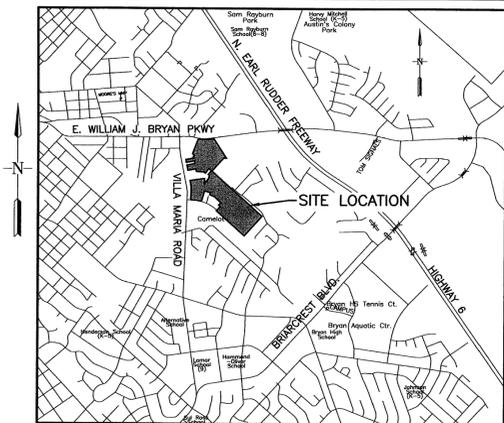
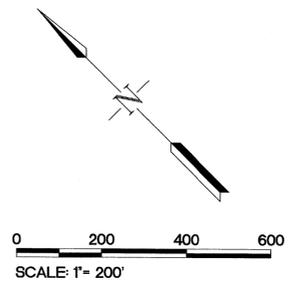
1000 San Jacinto
Bryan, Texas

LOI PHAT NGUYEN
P.O. BOX 5085
Bryan, TX 77805

JTR-DRAWN
LET - CITY CHANGES
DATE: 04-19-06

SHEET: **S-1**
OF ONE
DATE: 04-19-06

SP06-08 #3



VICINITY MAP
NOT TO SCALE

GENERAL NOTES:

1. NO PUBLIC FACILITIES (i.e. PARKS, MUNICIPAL BUILDINGS) ARE PROPOSED AS PART OF THIS DEVELOPMENT.
2. PUBLIC INFRASTRUCTURE (i.e. FIRE HYDRANTS, STORM DRAINS) WILL BE DESIGNED, CONSTRUCTED AND DEDICATED IN ACCORDANCE WITH CITY OF BRYAN CODES, GUIDELINES AND SPECIFICATIONS.
3. THE ALTERNATE COLLECTOR ALIGNMENT SHOWING AN INTERSECTION WITH WILLIAM J. BRYAN PARKWAY ON THE POST OFFICE FRONTAGE MAY BE PURSUED UPON THE SUCCESSFUL NEGOTIATION OF A DEVELOPMENT AGREEMENT WITH THE CITY OF BRYAN, TxDOT AND THE U.S. POSTAL SERVICE.
4. THE WESTERN PORTION OF THE COLLECTOR BETWEEN BROADMOOR AND VILLA MARIA, BEYOND THE PROPERTY, IS NOT INCLUDED IN THIS DEVELOPMENT PLAN, BECAUSE THE LOCATION IS FIXED ONTO PROPERTY NOT CONTROLLED BY THE DEVELOPER. IF THE DEVELOPER GAINS CONTROL OF THE PROPERTY, THIS MASTER PLAN WILL BE UPDATED. THIS ROADWAY PORTION MAY BE ADDED TO THE PROJECT THROUGH THE SUCCESSFUL NEGOTIATION OF A DEVELOPMENT AGREEMENT WITH THE CITY OF BRYAN ADDRESSING R.O.W. ACQUISITION AND OFF-SITE DEVELOPMENT COSTS.

LEGEND:

- SS— PROP. SANITARY SEWER
- SS— EXIST. SANITARY SEWER
- W— PROP. WATER LINE
- W— EXIST. WATER LINE
- SD— PROP. STORM DRAIN

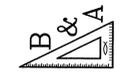
| PHASE | LAND USE | ACREAGE | MAX. DENSITY | MAX. DWELLING UNITS |
|--------------|-----------------------------------|--------------------|--------------|---------------------|
| 1 | SINGLE FAMILY/PATIO HOME | 4.88 ACRES | 7 D.U./AC. | 34 UNITS |
| 2 | MULTI-FAMILY | 6.87 ACRES | | |
| 3 | SINGLE FAMILY/PATIO HOME/TOWNHOME | 6.90 ACRES | 10 D.U./AC. | 69 UNITS |
| 4 | COMMERCIAL/RETAIL/OFFICE | 7.40 ACRES | 7 D.U./AC. | 51 UNITS |
| 5 | SINGLE FAMILY/PATIO HOME | 8.85 ACRES | 7 D.U./AC. | 62 UNITS |
| 6 | COMMERCIAL/RETAIL/OFFICE | 7.80 ACRES | | |
| 7 | SINGLE FAMILY/PATIO HOME | 2.62 ACRES | 7 D.U./AC. | 18 UNITS |
| 8 | COMMERCIAL/RETAIL/OFFICE | 4.27 ACRES | | |
| 9 | SINGLE FAMILY/PATIO HOME | 4.90 ACRES | 7 D.U./AC. | 34 UNITS |
| 10 | SINGLE FAMILY/PATIO HOME | 5.60 ACRES | 7 D.U./AC. | 39 UNITS |
| 11 | SINGLE FAMILY/PATIO HOME | 4.29 ACRES | 7 D.U./AC. | 30 UNITS |
| 12 | COMMERCIAL/RETAIL/OFFICE | 1.12 ACRES | | |
| 13 | COMMERCIAL/RETAIL/OFFICE | 0.62 ACRES | | |
| TOTAL | | 66.12 ACRES | | 337 UNITS |

| REV | DATE | BY | APP | COMMENT |
|-----|------|----|-----|---------|
| | | | | |

PREPARED FOR: BURTON CREEK DEVELOPMENT L.L.C.
 SCALE: DATE: MARCH, 2008
 DRAWN BY: SWW PROJECT MANAGER: PAUL LEVENTIS, P.E.

Bleyl & Associates
Project Engineering & Management

2251 N. LOOP 336 W
CONROE, TEXAS 77304
(936) 286-3849 FAX
(936) 286-3849 FAX



MASTER PLAN

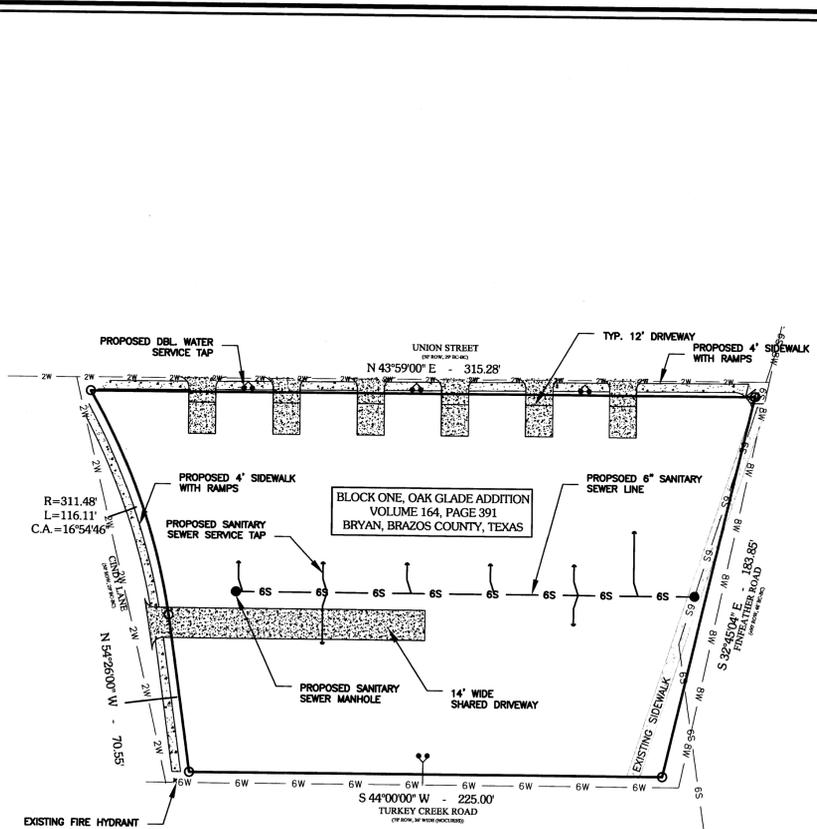
BRIAR MEADOWS CREEK

38.08 ACRES OF LAND
IN THE JOHN AUSTIN SURVEY, A-2
BRYAN, TEXAS

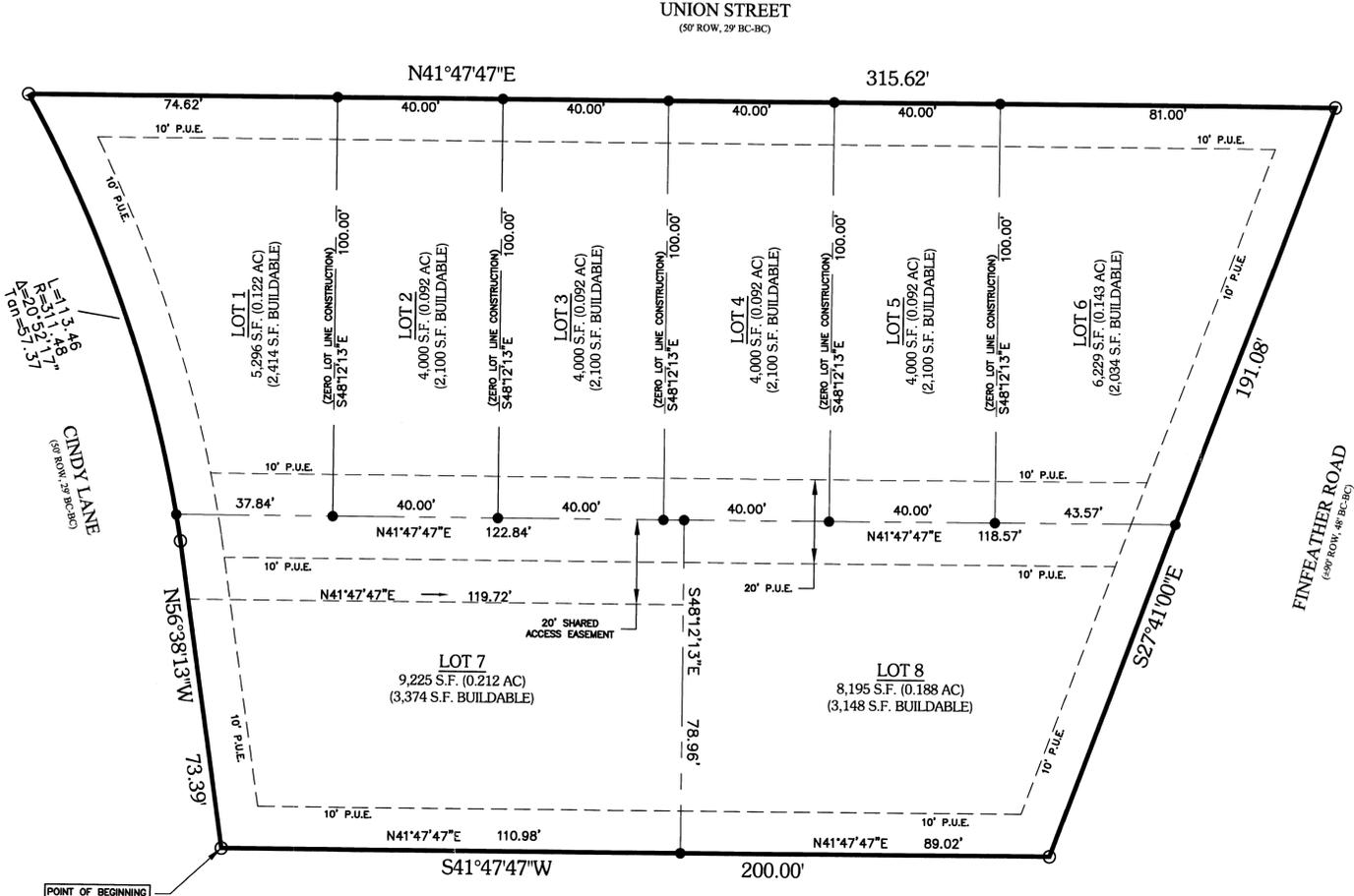
DRAFT FOR REVIEW ONLY

| | |
|----------------|-----------|
| PROJECT NUMBER | 7031 |
| FILE NAME: | 7031-MP03 |
| SHEET: | 1 OF 1 |

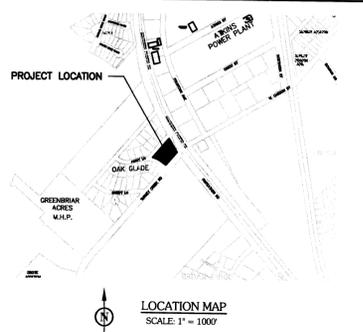
MP06-02 #3



ORIGINAL PLAT
(WITH EXISTING & PROPOSED INFRASTRUCTURE)
SCALE: 1" = 40'



REVISED PLAT
SCALE: 1" = 20'



- GENERAL NOTES:**
1. THE LAND IS CURRENTLY ZONED SF-5. A CONDITIONAL USE PERMIT SHALL BE INSTITUTED TO ALLOW FOR THE 8 PATIO HOME LOTS (ZERO LOT LINE CONSTRUCTION) IN ADDITION TO THE 2 SF-5 LOTS.
 2. THE PROJECT PROPERTY DOES NOT LIE WITHIN THE LIMITS OF THE 100-YEAR FLOOD HAZARD AREA AS ESTABLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY: MAP NUMBER 4800B3-134C, EFFECTIVE DATE JULY 2, 1982.
 3. LOT SUBDIVISION & BUILDING SET BACK LINES SHALL CONFORM TO THE STANDARDS SET FORTH IN CITY OF BRYAN ZONING ORDINANCE AND SITE DEVELOPMENT REVIEW ORDINANCE.
 4. UNLESS NOTED OTHERWISE, ALL LOT CORNERS SHALL BE MARKED WITH 1/2" IRON RODS WITH CAPS.
 5. ALL RIGHT-OF-WAYS AND EASEMENTS SHOWN HEREIN ARE HEREBY DEDICATED TO THE CITY OF BRYAN.
 6. THE METES AND BOUNDS DESCRIPTION OF PROJECT PROPERTY FOUND HEREIN ARE FROM EXISTING DEEDS AND ARE SUBJECT TO CHANGE PER A COMPLETE BOUNDARY SURVEY.

LEGEND

| | |
|--------|---------------------------------|
| — | PROPERTY LINES |
| - - - | LOT LINES |
| --- | R.O.W. LINES |
| - - - | EASEMENT LINE |
| --- | BUILDING SET BACK LINE |
| 6S | EXISTING 6" SEWER LINE |
| 2W | EXISTING 2" WATER |
| 6W | EXISTING 6" WATER |
| 6S | PROPOSED 6" SEWER |
| ● | PROPOSED 4" SEWER MANHOLE |
| P.U.E. | PUBLIC UTILITY EASEMENT |
| ○ | PROPOSED DBL. WATER SERVICE TAP |
| ○ | PROPOSED 4" SANITARY SEWER TAP |

CERTIFICATION OF OWNERSHIP & DEDICATION:
(THE STATE OF TEXAS)
(COUNTY OF BRAZOS)

I, (We), _____, the owner(s) and developer(s) of the land shown on this plat, being (part of) the tract of land as conveyed to me (us, it) in the Deed Records of Brazos County in Volume _____, Page _____, and whose name is subscribed hereto, hereby, dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places shown hereon for the purposes identified.

Owner

CERTIFICATION BY THE COUNTY CLERK:
(THE STATE OF TEXAS)
(COUNTY OF BRAZOS)

I, _____, County Clerk in and for said County, do hereby certify that this plat together with its certificates of authentication was filed for record in my office the ____ day of _____, 20____, in the Official Records of Brazos County in Volume _____, Page _____.

County Clerk, Brazos County, Texas

NOTARY PUBLIC CERTIFICATION
(THE STATE OF TEXAS)
(COUNTY OF BRAZOS)

Before me, the undersigned authority, on this day personally appeared _____, known to me to be the person(s) whose name(s) is/are subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose stated.

Given under my hand and seal of office this ____ day of _____, 20____.

Notary Public, Brazos County, Texas

FIELD NOTE DESCRIPTION OF A 1.0827 ACRE TRACT:

FIELD NOTE DESCRIPTION OF A 1.0827 ACRE TRACT OF LAND LYING AND BEING SITUATED IN THE ZENO PHILLIPS LEAGUE, ABSTRACT NO. 45, IN THE CITY OF BRYAN, BRAZOS COUNTY, TEXAS, AND BEING PART OF BLOCK ONE (1) OAK GLADE ADDITION, AS SHOWN ON THE PLAT THEREOF RECORDED IN VOLUME 164, PAGE 391, OF THE DEED RECORDS OF BRAZOS COUNTY, TEXAS, AND AS MORE PARTICULARLY DESCRIBED BY THE FOLLOWING METES AND BOUNDS.

POINT OF BEGINNING AT THE NORTHEAST INTERSECTION OF THE NORTH RIGHT OF WAY LINE OF CINDY LANE WITH THE NORTHWEST RIGHT OF WAY LINE OF TURKEY CREEK ROAD.

THENCE ALONG THE SOUTHWEST LINE OF THE SAID BLOCK ONE (1) OAK GLADE ADDITION, SAME BEING THE NORTHEAST RIGHT OF WAY LINE OF CINDY LANE FOR THE FOLLOWING CALLS:

THENCE N 56°38'13"W FOR A DISTANCE OF 73.39' TO A 1/2- INCH IRON ROD SET FOR ANGLE POINT, SAID IRON ROD MARKING THE BEGINNING POINT OF A CURVE;

THENCE ALONG SAID CURVE HAVING THE FOLLOWING DATA: A RADIUS OF 311.48 FEET, A CENTRAL ANGLE OF 20°52'17", ARC LENGTH OF 113.46 FEET, A CHORD DISTANCE OF 106.55 FEET, AND A CHORD BEARING OF N68°22'51"W, TO A 1/2- INCH IRON ROD SET FOR CORNER, SAID IRON ROD MARKING THE END OF THIS CURVE;

THENCE N41°47'47"E, ALONG THE SOUTHEAST RIGHT OF WAY LINE OF UNION STREET, SAME BEING THE NORTHWEST LINE OF THE SAID BLOCK ONE (1) OAK GLADE ADDITION, FOR A DISTANCE OF 315.62 FEET TO A 1/2- INCH IRON ROD SET FOR CORNER;

THENCE S27°41'00"E ALONG THE SOUTHWEST RIGHT OF WAY LINE OF FINFEATHER ROAD FOR A DISTANCE OF 191.08 FEET TO AN IRON ROD SET FOR CORNER;

THENCE S41°47'47"W ALONG THE SOUTHEAST LINE OF THE SAID BLOCK ONE (1) OAK GLADE ADDITION, SAME BEING THE NORTHWEST RIGHT OF WAY LINE OF TURKEY CREEK ROAD, FOR A DISTANCE OF 200.00 FEET TO THE POINT OF BEGINNING CONTAINING 1.0827 ACRES OF LAND, MORE OR LESS.

APPROVAL OF THE CITY PLANNER:

I, the undersigned, City Planner and/or designated Secretary of the Planning & Zoning Commission of the City of Bryan, hereby certify that this plat is in compliance with the appropriate codes and ordinances of the City of Bryan and was approved on the ____ day of _____, 20____.

City Planner, Bryan, Texas

APPROVAL OF THE PLANNING & ZONING COMMISSION:

I, _____, Chairman of the Planning & Zoning Commission of the City of Bryan, State of Texas, hereby certify that the attached plat was duly filed for approval with the planning & Zoning Commission of the City of Bryan on the ____ day of _____, 20____ and same was duly approved on the ____ day of _____, 20____ by said Commission.

Chairman, Planning & Zoning Commission
Bryan, Texas

CERTIFICATION OF THE SURVEYOR
(THE STATE OF TEXAS)
(COUNTY OF BRAZOS)

I, _____, Registered Public Surveyor No. _____ in the State of Texas, hereby certify that this plat is true and correct and was prepared from an actual survey of the property and that property markers and monuments were placed under my supervision on the ground, and that the metes and bounds describing said subdivision will describe a closed geometric form.

Registered Public Land Surveyor

APPROVAL OF THE CITY ENGINEER:

I, the undersigned, City Engineer of the City of Bryan, hereby certify that this plat is in compliance with the appropriate codes and ordinances of the City of Bryan and was approved on the ____ day of _____, 20____.

City Engineer, Bryan, Texas

RE-PLAT
OAK GLADE ADDITION,
BLOCK 1

1 BLOCK CONSISTING OF
8 LOTS ON 1.0827 ACRES

BLOCK 1 OF OAK GLADE ADDITION (V164/P391)
ZENO PHILLIPS LEAGUE - ABSTRACT NO. 45
1.0827 ACRES - ZONED SF-5
BRYAN, BRAZOS COUNTY, TEXAS
APRIL 25, 2006

DEVELOPER
INTEGRITY DEVELOPERS
100 S. TEXAS AVE.
Bryan, Texas 77803
(979) 220-5959

SURVEYOR
KERR SURVEYING, LLC
505 CHURCH AVE.
COLLEGE STATION, TEXAS 77840
(979) 268-0150

GATTISEENGINEERING
ENGINEERS + CONSULTANTS
P.O. Box 13461 • College Station, Texas 77841 • (979) 575-5022
INFO@GATTISEENGINEERING.COM

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6/20/2010 12:26:01

RP06-08 #2

